



**Tuolumne County Community Resources Agency
Additions/Accessory Structure and
Environmental Health Land Use Projects
Plot Plan Checklist
(209) 533-5633**

LIMITED TO 500 Sq. Ft. ADDITION AND ACCESSORY BUILDING PROJECTS
PLEASE NOTE: PLANS WILL NOT BE ACCEPTED IF INFORMATION IS MISSING
FROM THE PLOT PLANS

*** Proper Scale Must Be Shown ***

A. FORMAT

- 1. Paper size minimum 8 1/2" x 11", maximum 24" x 36" (submit 3 copies).
- 2. North arrow, **ENGINEER'S** scale, dimensions of property lines, and vicinity map.
- 3. Slopes: amount and direction (% of slope) *if not on an existing pad*.
- 4. Driveways to roads, parking areas, roads, and road easement widths, if modified, include turnouts, turning bulbs, and road grade parking. (If modified, show surface type, width, and slope of all driveways and parking areas).
- 5. All easements including drainage easements (DE's), drainage protection areas (DPA's), open space zoning, and defensible space.
- 6. Drainage courses, rivers, creeks, streams, ponds, lakes, reservoirs and water ditches with appropriate sanitary setbacks.
- 7. Show all new site grading, drainage features, and demonstrate erosion control measures.
- 8. Lot size (Acreage).
- 9. Trench detail for septic systems.

B. OWNER/LOT IDENTIFICATION

- 1. Name, address, and phone number of owner and applicant.
- 2. Assessor's parcel number.
- 3. Street and address and boundary monuments (pin locations) relevant to the location of the proposed project.
- 4. Show location where address will be posted on plot plan.

C. DEVELOPMENT: EXISTING & PROPOSED

- 1. Dimensions of all proposed improvements
- 2. Setbacks from proposed structures to property lines that are shown, centerline of road right of way if applicable, and edge of pavement (if closer than 15' from front property line).
- 3. All existing structures and improvements (including wells, lift-stations, propane systems, septic systems, expansion areas, and sewer lines). Show setbacks to these items.
- 4. Square footage of new construction.
- 5. Show encroachment details if adjoining a publicly maintained road (limits of paving, curve returns, drainage improvements).

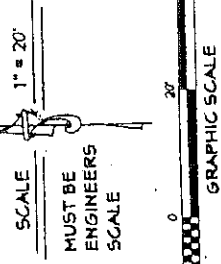
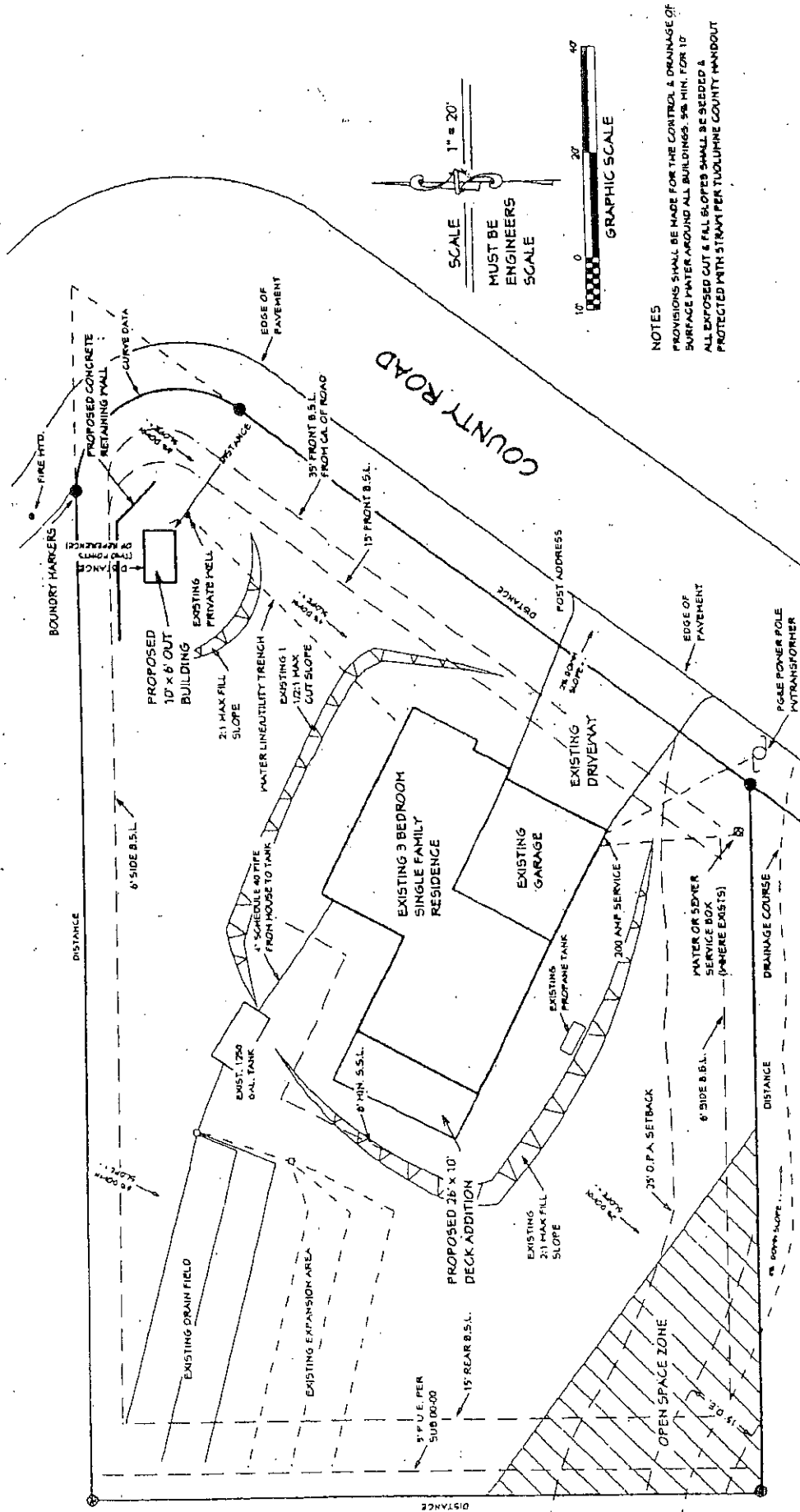
D. ADDITIONAL INFORMATION FOR GRADING REVIEW

- 1. Details of grading proposed within 35 feet of leach field or expansion area and any planned or existing cuts, fills, or excavations for driveways, basements or foundations.
- 2. Show the location of cut and fill on site. Include "daylight" lines and cut/fill slopes.
- 3. Show how much dirt will be cut and filled in cubic yards.
- 4. Show distances from the proposed structure and cuts or fills, to existing drainage courses or streams.

Reviewed and submitted Owner/Contractor: _____

Date: _____ Owner/Contractor Phone Number: _____

Plot plan received by: _____ Date: _____



NOTES
 PROVISIONS SHALL BE MADE FOR THE CONTROL & DRAINAGE OF SURFACE WATER AROUND ALL BUILDINGS. 5% MIN. FOR 10' ALL EXPOSED CUT & FILL SLOPES SHALL BE SEEDED & PROTECTED WITH STRAW PER TUOLUMNE COUNTY HANDBOOK

REQUIRED INFORMATION

PROPERTY OWNER
 ADDRESS
 TELEPHONE NUMBER
 CONTACT/AGENT
 ADDRESS
 TELEPHONE NUMBER
 VICINITY MAP

ASSESSOR'S PARCEL NUMBER
 SUBDIVISION
 NAME
 UNIT NUMBER
 LOT NUMBER
 OR PARCEL MAP NUMBER
 LOT SIZE

LEGEND & NOTES

- P.U.E. PUBLIC UTILITIES EASEMENT
- D.P.A. DRAINAGE PROTECTION AREA
- B.S.L. BUILDING SETBACK LINE
- S.S.L. SANITARY SETBACK LINE
- D.E. DRAINAGE EASEMENT
- 3/4" IRON PIPE W/ PLASTIC PLUG
- L.S. 0000 PER SUB 00-00

DISTANCE