



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

Date: February 13, 2024
To: Interested Stakeholder
From: Tuolumne County Community Development Department
RE: Conditional Use Permit LUNR-23-14
Assessor's Parcel Number: 066-250-045

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

The Community Development Department thanks you for your participation in the land development process in Tuolumne County. We value your comments and look forward to your continued participation in our planning process. This process provides information on your requirements and concerns to the applicant early in the review process. Involvement on your part can eliminate or minimize problems that could arise later.

Applicant(s): Robert Boyer
Owner: Robert Boyer

Project: The Community Development Department (CDD) has received an application for the following:

Conditional Use Permit LUNR-23-14 to allow the construction of a resort development including:

- The facilitation of a Lot Line Adjustment between Firefall Lodge and Smith Station properties to provide preferred cabin expansion layout on Smith Station property.
- 56 new guest rooms (30,000 sq ft).
- Road network associated with the development.
- New septic system for new development, with sewer lines and pumps.
- Expand existing water, power, data utilities throughout property as required.
- New Residence with garage, pool, and septic system.
- A pedestrian walking trail throughout the Smith Station property, connected to the Firefall Lodge. Sections of the walkway to be raised decking through the meadow. Walkway passes through proposed Open Space and crosses multiple drainages.
- Up to 8 crossings of the main drainage are anticipated which will incorporate pedestrian, utility and small vehicle crossings as needed. The final location of crossings to be determined during construction.
- Employee housing buildings and a utility barn with potential artist loft spaces.
- Commercial area at the intersection of Smith Station Rd and HWY 120 that includes:
 - Removal of existing house
 - Brewery (Bar area, retail, restrooms, and outdoor seating)

- Access onto Smith Station Rd
- New well, water treatment, and storage tank
- Renovation of existing historical barn into a functional space
- Dedication of Open Space zoning along the main drainage. Providing a continuation of Open Space from Firefall project.
- Team Building Recreation Facilities (Ropes Challenge Course): Location TBD

Location: The project site is located approximately ±500ft southeast of the intersection of State Highway 120 and Smith Station Road, in the community of Groveland. Within a portion of Section 33, Township 1 South, Range 17 East Mount Diablo Baseline and Meridian. The project site is located within Supervisorial District 4. Assessor's Parcel Number 066-250-045.

Lot Size: 158.10± Acres

Zoning: Exclusive Agricultural, 37-Acre Minimum (AE-37) and Public (P)

General Plan: Agricultural (AG)

Access: HWY 120 / Smith Station Rd

Sewage Disposal Method: Septic

Water Source: Well

Fire District: Smith Station #63

School District: Groveland Elementary & Tioga Highschool

Fire Hazard Rating: Very High Fire Hazard Severity Zone

Lot Elevation: ±3,030' - ±3.290'

Additional Information:

1. Agricultural uses are proposed to continue on the property: livestock grazing in the meadow

Please return your comments to the CDD by **March 5, 2023**.

Staff Contact: Clark Sintek
 Phone: (209) 533-5614
 Email: csintek@co.tuolumne.ca.us

AGENCY/INDIVIDUAL: _____

COMMENTS: _____

[illegible]

Per Tuolumne County Ordinance Code, the CDD will only be notifying property owners within 1000 feet via mail of future public hearings and will not notify individuals or agencies via email. The notification link below is the only way to request and receive email notifications.

To ensure future public hearing notifications are received, please utilize the link below to sign up in the Tuolumne County Notify Me Page to receive notices via email:

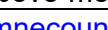
<https://www.tuolumnecounty.ca.gov/list.aspx>

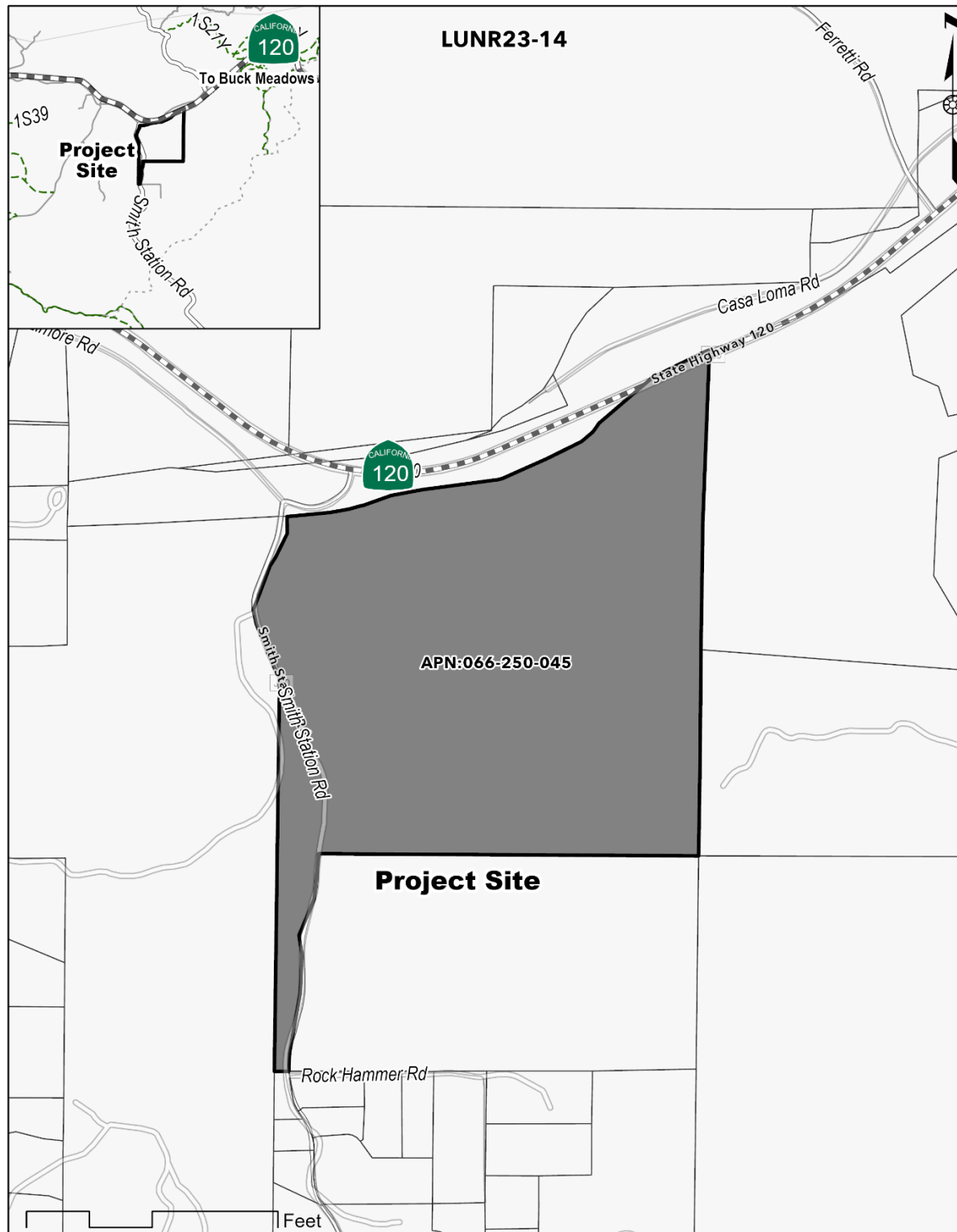
Signed by: _____

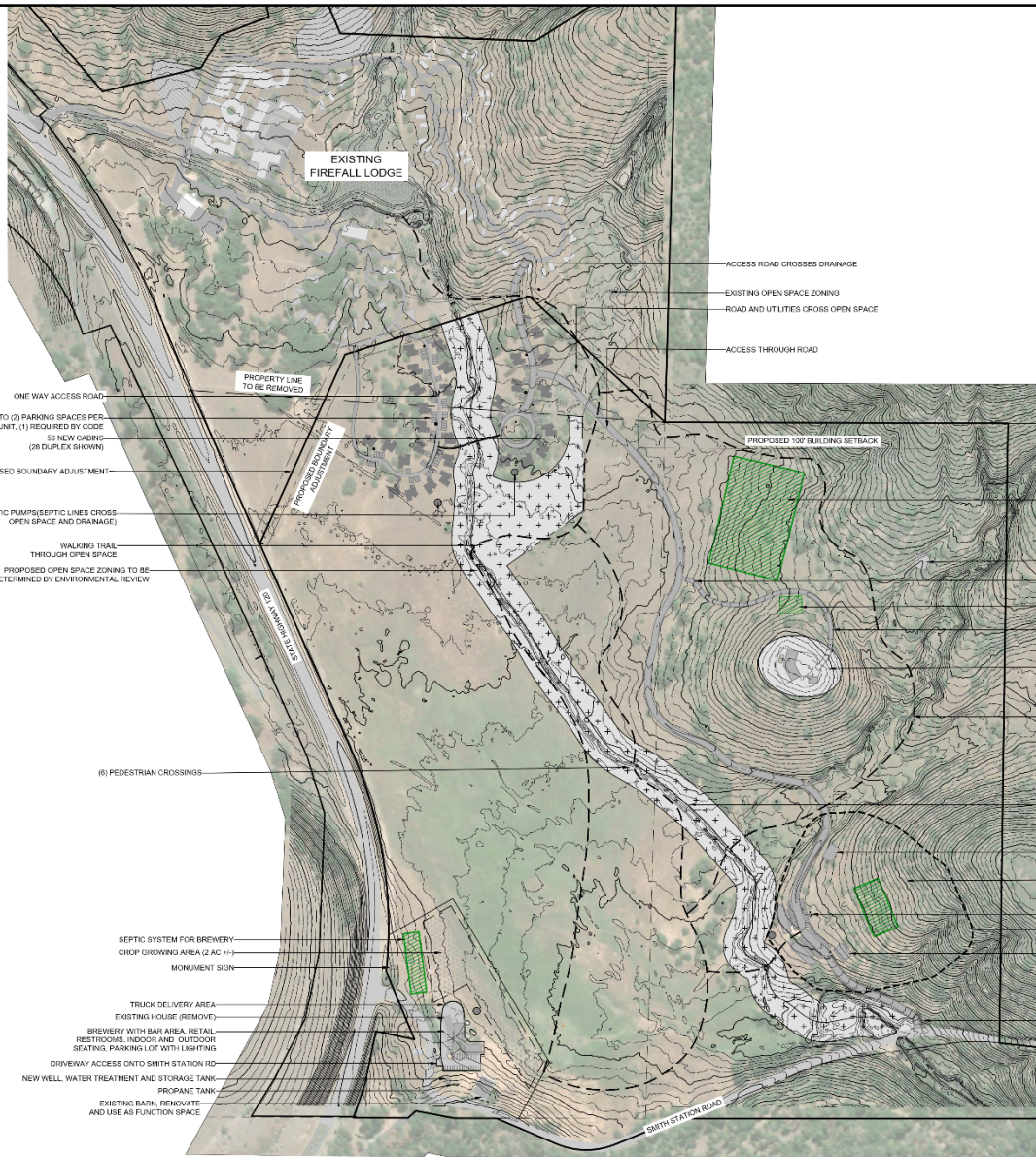
Agency: _____

Date: _____

S:\Planning\PROJECTS\LUNR Projects\2023\LUNR-23-14 Boyer (Firefall 2.0 CUP)\Application Review\LUNR-23-14 Boyer Stakeholder 20240129.docx

Please utilize the following link, or scan QR code to sign up and receive future notices that may include the above-mentioned project: https://www.tuolumnecounty.ca.gov/list.aspx	Planning Stakeholder Notification letters are posted at the following link: https://www.tuolumnecounty.ca.gov/1512/Planning-Stakeholder-Notifications
	





SITE INFORMATION

ADDRESS:	1 HIGHWAY 100 / SMITH STATION ROAD GROVELAND 95321
APN:	060-258-45
S.D.R.:	47741 B006
LOT SIZE:	163.35 ± ACRES
SEWER:	PRIVATE SEPTIC
WATER:	MUNICIPAL WELL
GENERAL PLAN:	AGRICULTURAL/URB
ZONING:	AF-32 & P
FIRE DISTRICT:	SMITH STATION #43
SCHOOL DIST.:	GROVELAND ELEMENTARY SCHOOL DISTRICT & TIOGA HIGH SCHOOL DISTRICT
LOT ELEVATION:	±15,000' - ±15,200'

SHEET INDEX

1. TITLE SHEET
2. SITE INFORMATION
3. COUNTRYSIDE / EMPLOYEE ART AREA

PROJECT DESCRIPTION

1. PROPOSED AGRICULTURAL/URB DEVELOPMENT (163.35 AC) WITH 100' BUILDING SETBACK AND 100' SETBACK PROPERTIES TO PROVIDE PROPOSED DUPLEX EXPANSION LAYOUT ON SMITH STATION PROPERTY.
2. MAINTAIN EXISTING ZONING AND GENERAL PLAN LAND USE DESIGNATION. PROCESS A CONDITIONAL USE PERMIT (CUP) FOR THE PROPOSED DUPLEX EXPANSION LAYOUT.
3. CONSTRUCT 100' BUILDING SETBACK (100' BUILDING SETBACK) WITH 100' BUILDING SETBACK PROPERTIES.
4. CONSTRUCT 100' BUILDING SETBACK (100' BUILDING SETBACK) WITH 100' BUILDING SETBACK PROPERTIES.
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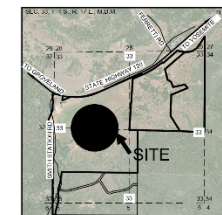
QUANTITIES

1. CABINS AND ASSOCIATED ROADS	10 AC +/-
2. RESIDENTIAL AREA	1.5 AC +/-
3. EMPLOYEE HOUSING AREA	1.5 AC +/-
4. SEPTIC SYSTEMS	1.5 AC +/-
TOTAL APPROXIMATE AREA OF IMPROVEMENT IMPACT	27.5 AC +/-
GRADING:	
CUT / FILL	5,000 CY +/-

**CONDITIONAL USE
PERMIT APPLICATION
DEC 2023**

VICINITY MAP

NTS



REVISIONS:

rev	date	description
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OWNER INFORMATION:
BOYER TRUST
23050 COFFILL ROAD
TWIN HARTS, CA 95383
PH 209.768.1959

SITE INFORMATION:
47741 B006 258.945
Groveland, California 95321

PROJECT INFORMATION:

Firefall Smith Station Expansion
Groveland, California 95321
Ph 209.768.1959

ENGINEER OF RECORD:



ISSUE DATE: 12/19/2023

DRAWN BY: RC

CHECKED BY: ZPG

SCALE: 1" = 200'

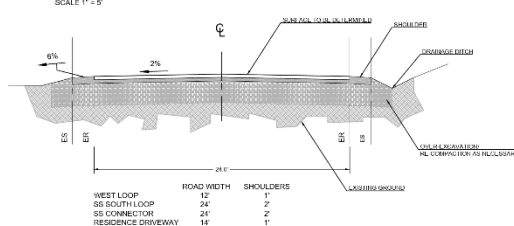
DRAWING: CONCEPT

PROJECT NO: 20-05.32

SHEET: 1 OF 3

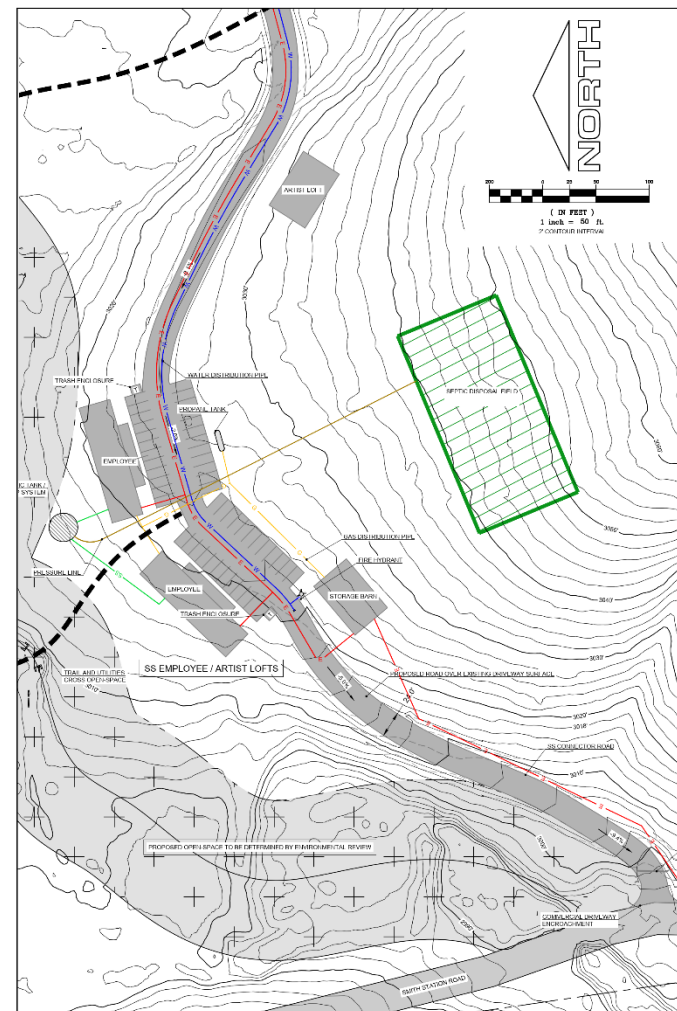
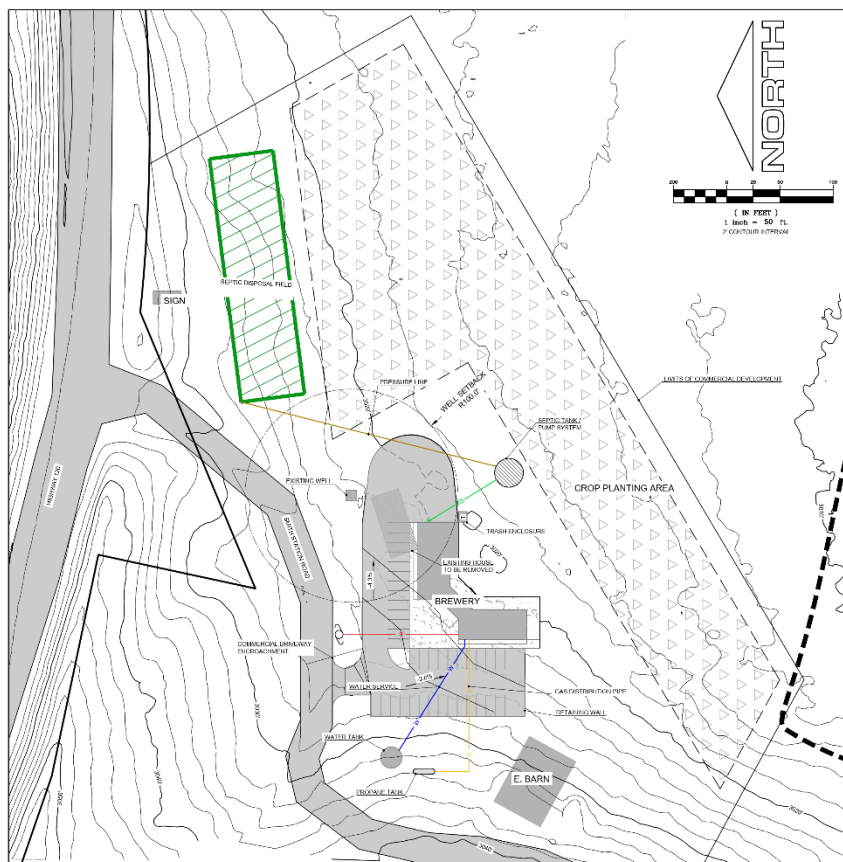
	PROPERTY LINE		FLAGSTONE
	WOODLAND TREES		ELDERBERRY WOODLAND TREES
	BUILDING OR STRUCTURE (BSL)		COMMUNICATIONS BOX (FIBER)
	PSYCHOGRAPHIC CONTIGUOUS		SEWER HATCH
	ELDERBERRY CONTOUR TO BE RECOVERED		SEWER CLEANOUT
	ELDERBERRY IN SLOPE		WATER VALVE
	LEADER IN SLOPE WAS		WATER SUPPLY
	WATER LINE		
	SANITARY SEWER LINE		
	1 INCH WATER SERVICE SLACK		
	PROPOSED CONFORMANCE		
	EXISTING OPEN SPACE		
	RETAINMENT AT CROSSINGS		

SCALE 1" = 5'



ER EDGE OF ROAD
ES EDGE OF SHOULDER

DIMENSIONED ABOVE.



CONDITIONAL USE
PERMIT APPLICATION
DEC 2023

REVISIONS:

rev	date	description
-----	------	-------------

OWNER INFORMATION:

BOYER TRUST
23050 COFFILL ROAD
TWIN HARTS, CA 95383
Ph 209.768.1959

SITE INFORMATION:

APN 066-250-045
Groveland, California 95321

PROJECT INFORMATION:

Firefall Smith Station Expansion
A Site Improvement Plan for
Groveland, California 95321
Ph 209.768.1959

ENGINEER OF RECORD:



ISSUE DATE: 12/19/2023

DRAWN BY: RC

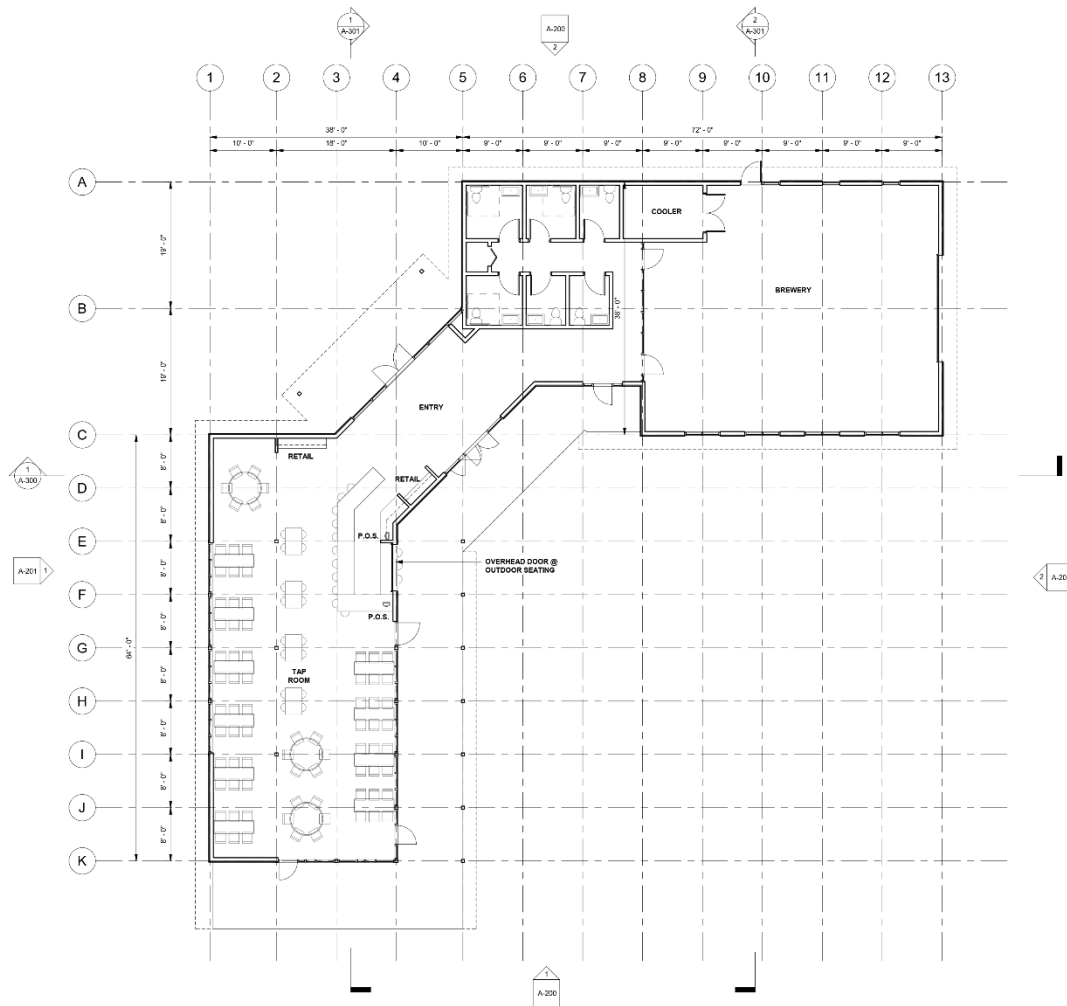
CHECKED BY: ZPG

SCALE: $1'' = 50'$

DRAWING: CONCEPT

PROJECT NO: 20-05.32

SHEET: 3	OF: 3
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1 1ST FLOOR PLAN
1/8" = 1'-0"

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED.

GENERAL FLOOR PLAN NOTES

- 1 ALL SPACES TO MAINTAIN FIRE PROTECTION REQUIREMENTS
- 2 PROVIDE AIR RETURN AND TRANSFERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS
- 3 ALL DOORS TO BE INSTALLED 8" FROM ADJACENT PERPENDICULAR WALL U.O.N.
- 4 DIMENSIONS ARE TAKEN TO FACE OF STUDS U.O.N.
- 5 WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE

FLOOR PLAN LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- (E) WALLS TO REMAIN
- (N) WALLS
- TEMPORARY CONSTRUCTION BARRIER

ARCHITECTURAL PLAN SHEET NOTES

ARCHITECT
UNUM
collaborative
1480 N LAFAYETTE STREET, SUITE 206
DENVER, CO 80218
610.442.1739

FIREFALL RESORT - BREWERY
24025 HWY 120
Groveland, CA 95321

**NOT FOR
CONSTRUCTION**

History	Date
SC-SHATC DESIGN	02.12.2021
DD PROGRESS	05.05.2021

DATE:	2.12.2021
PROJECT #:	2020.09
DRAWN BY:	AA
DESIGNED BY:	AA
CHECKED BY:	JP

1ST FLOOR PLAN

1 OF 2

CONDITIONAL USE
PERMIT APPLICATION,
DEC 2023

FIREFALL RESORT - BREWERY
24025 HWY 120
Groveland, CA 95321

**NOT FOR
CONSTRUCTION**

History	Date
SCHEMATIC DESIGN	02.2.2021
DD PROGRESS	05.05.2021

DATE:	2.12.2021
PROJECT #:	2020.09
DRAWN BY:	AA
DESIGNED BY:	AA
CHECKED BY:	JP

EXTERIOR
VISUALIZATIONS

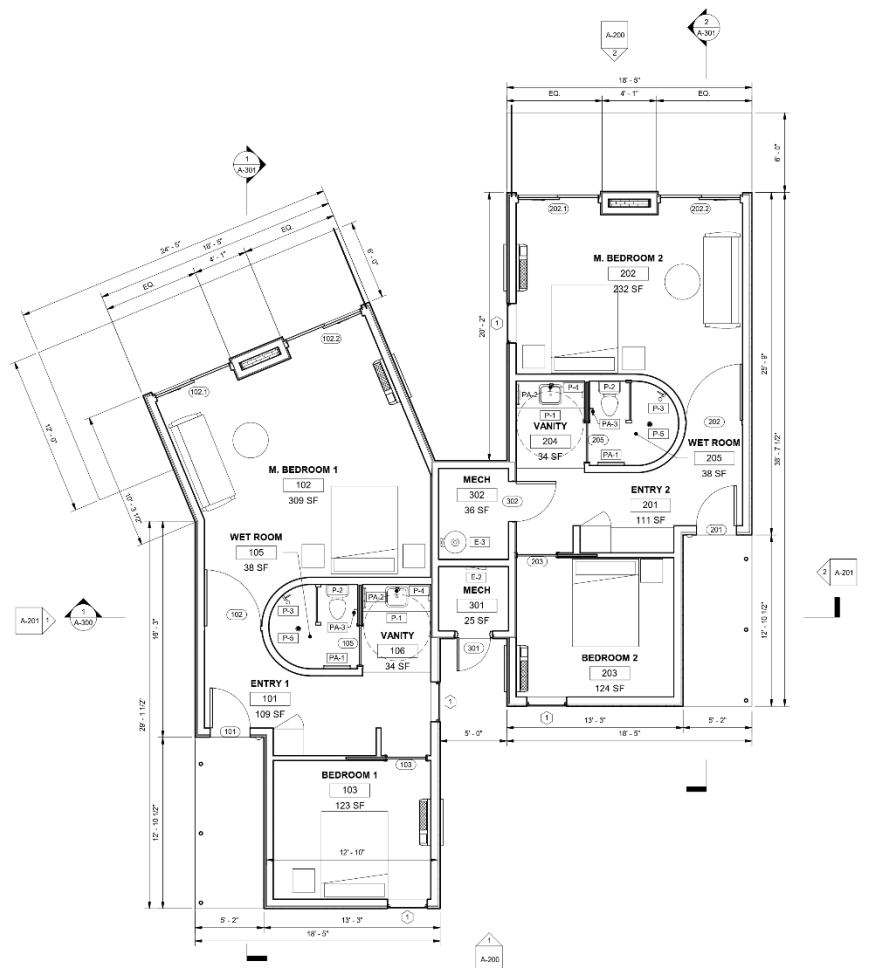
2 OF 2



2 EXTERIOR VISUALIZATION @ PATIO
NTS



1 EXTERIOR VISUALIZATION @ ENTRY
NTS



1 1ST FLOOR PLAN
1/4" = 1'-0"

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1. PROVIDE AIR RETURNS AND TRANSFERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS
2. ALL DOORS TO BE INSTALLED 8" FROM ADJACENT PERPENDICULAR WALL U.N.O.
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4. WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE

FLOOR PLAN LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- (E) WALLS TO REMAIN
- (N) WALLS
- TEMPORARY CONSTRUCTION BARRIER

ARCHITECTURAL PLAN SHEET NOTES

PLUMBING FIXTURE SCHEDULE						
MARK	MANUFACTURER	MODEL	DESCRIPTION	FINISH	COUNT	NOTES
P-1	TRUEFORM CONCRETE	FLOATING HALF-TROUGH CONCRETE SINK	60" SINGLE SINK VANITY	CONCRETE	2	
P-2	TOTO	CST746CUMFG	DRAKE TOILET	WHITE	2	
P-3	AMERICAN STANDARD	STUDIO S SHOWER HEAD AND TRIM	WALL MOUNT HAND SHOWER WITH HOSE	MATTE BLACK	2	
P-4	DELTA	559HA-DST	BATHROOM FAUCET	MATTE BLACK	2	
P-5	WESTBRASS	D206P-62	SHOWER DRAIN	MATTE BLACK	2	

EQUIPMENT SCHEDULE						
MARK	MANUFACTURER	MODEL	DESCRIPTION	FINISH	COUNT	NOTE
E-1	NAPOLEON	ACIES SEE THROUGH FIREPLACE	36" DBL SIDED GAS BLACK FIREPLACE		2	
E-2	TBD	TBD	ELECTICAL PANEL		1	
E-3	TBD	TBD	TANK WATER HEATER		1	

PLUMBING ACCESSORIES SCHEDULE						
MARK	MANUFACTURER	MODEL	DESCRIPTION	FINISH	COUNT	NOTE
PA-1	AMERICAN STANDARD	STUDIO S 24" TOWEL BAR	24" TOWEL BAR	MATTE BLACK	2	
PA-2	AMERICAN STANDARD	STUDIO S 18" TOWEL BAR	18" TOWEL BAR	MATTE BLACK	2	
PA-3	AMERICAN STANDARD	STUDIO S TISSUE PAPER HOLDER	TISSUE PAPER	MATTE BLACK	2	

CONDITIONAL USE
PERMIT APPLICATION,
DEC 2023

ARCHITECT
UNUM
collaborative
1490 N LAFAYETTE STREET, SUITE 206
DENVER, CO 80218
610.442.1739

YOSEMITE CATTLE COMPANY
24025 HWY 120
Groveland, CA 95321

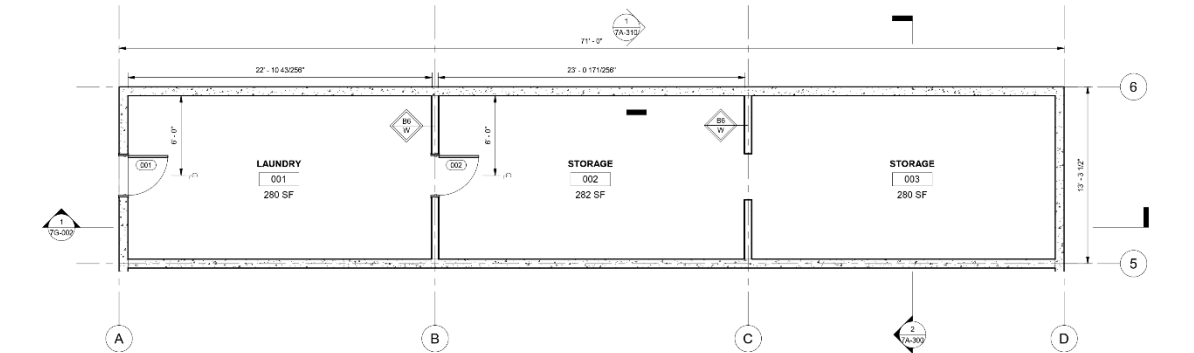
NOT FOR
CONSTRUCTION

History: Date
INBAL CASH PRICING 09-24-2020

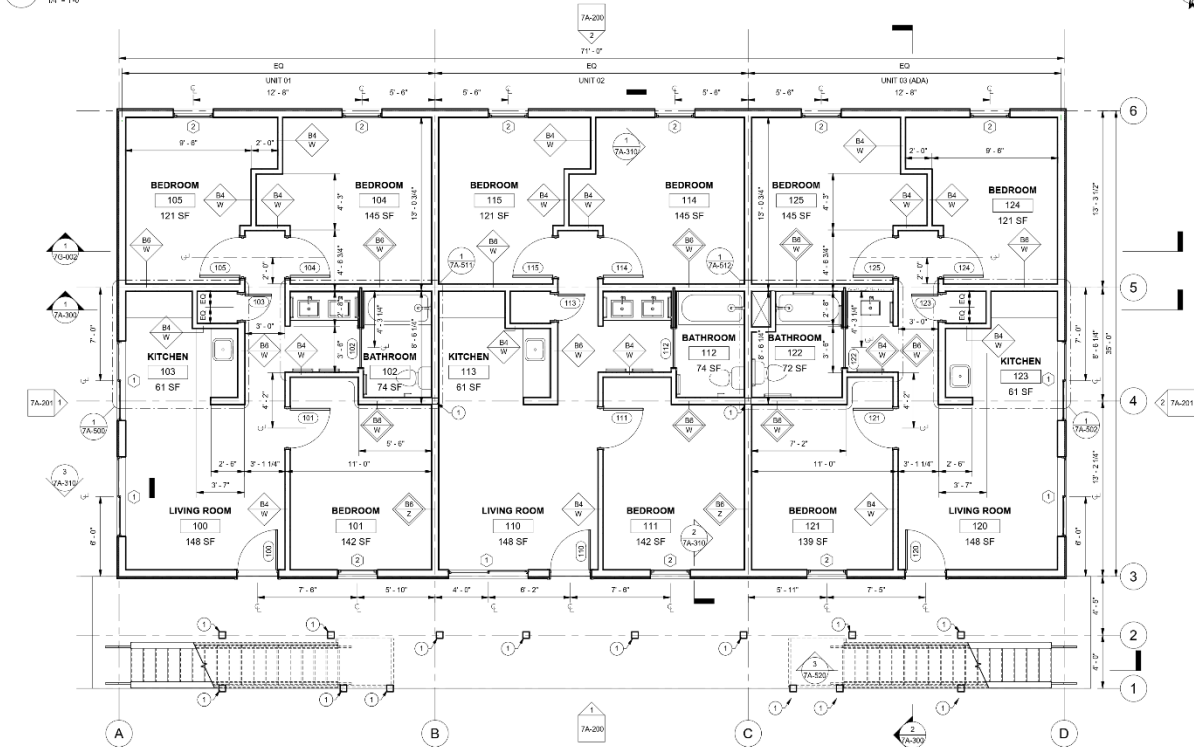
DATE: 09-24-2020
PROJECT #: 2020.09
DRAWN BY: KH
DESIGNED BY: AS
CHECKED BY: JP

1ST FLOOR PLAN

1 OF 2



2 BASEMENT OVERALL FLOOR PLAN
1/4" = 1'-0"



1 1ST FLOOR OVERALL PLAN
1/4" = 1'-0"

GENERAL NOTE:
UNIT 1 DIMENSIONS ARE TYPICAL FOR ALL
UNITS.

GENERAL FLOOR PLAN NOTES

- 1 ALL INTERIOR DOORS TO BE INSTALLED IF FROM ADJACENT PERPENDICULAR WALL, U.N.O.
- 2 PROVIDE AIR RETURNS AND TRANSFERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS.
- 3 WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE
- 5 DIMENSIONS ARE TO OUTSIDE OF STUD WALLS, CONCRETE WALLS, OR CMU U.N.O.

1ST FLOOR & BASEMENT PLAN SHEET NOTES

- 1 WOOD COLUMN, RE. STRUCTURAL DRAWINGS FOR SIZE.

ARCHITECT
UNUM
collaborative
1490 N LAFAYETTE STREET, SUITE 408
DENVER, CO 80218
610.442.1739

FIREFALL LODGE
STAFF HOUSING
24025 HWY 120
Groveland, CA 95321

STAMP & SIGNATURE

NOT FOR
CONSTRUCTION

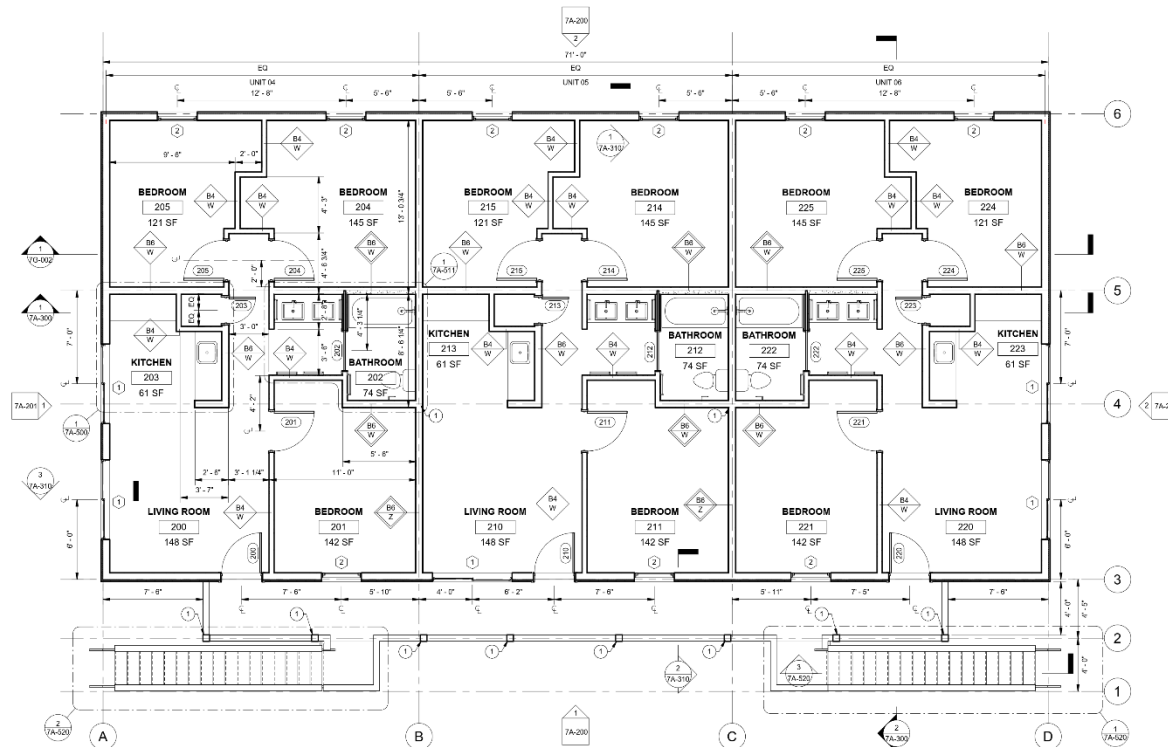
History: SCHEMATIC DESIGN Date: 10/2/2022

DATE: 10/2/2022
PROJECT #: 2022-42
DRAWN BY: JH/EK
DESIGNED BY: JP/AS
CHECKED BY: JP/AS

1ST FLOOR & BASEMENT
OVERALL PLAN

1 OF 4

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED.



1 2ND FLOOR OVERALL PLAN
1/4" = 1'-0"

GENERAL NOTE:
UNIT 1 DIMENSIONS ARE TYPICAL FOR ALL
UNITS.

- GENERAL FLOOR PLAN NOTES**
1. ALL INTERIOR DOORS TO BE INSTALLED 8" FROM ADJACENT PERPENDICULAR WALL U.N.O.
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 3. WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE
 5. DIMENSIONS ARE TO OUTSIDE OF STUD WALLS, CONCRETE WALLS, OR CMU U.N.O.

ARCHITECTURAL PLAN SHEET NOTES

1. WOOD COLUMN, RE: STRUCTURAL DRAWINGS FOR SIZE

ARCHITECT
UNUM
collaborative
1490 N LAFAYETTE STREET, SUITE 408
DENVER, CO 80218
610.442.1733

FIREFALL LODGE
STAFF HOUSING
24025 HWY 120
Groveland, CA 95321

STAMP & SIGNATURE

NOT FOR
CONSTRUCTION

History: SCHEMATIC DESIGN Date: 10/2/2022

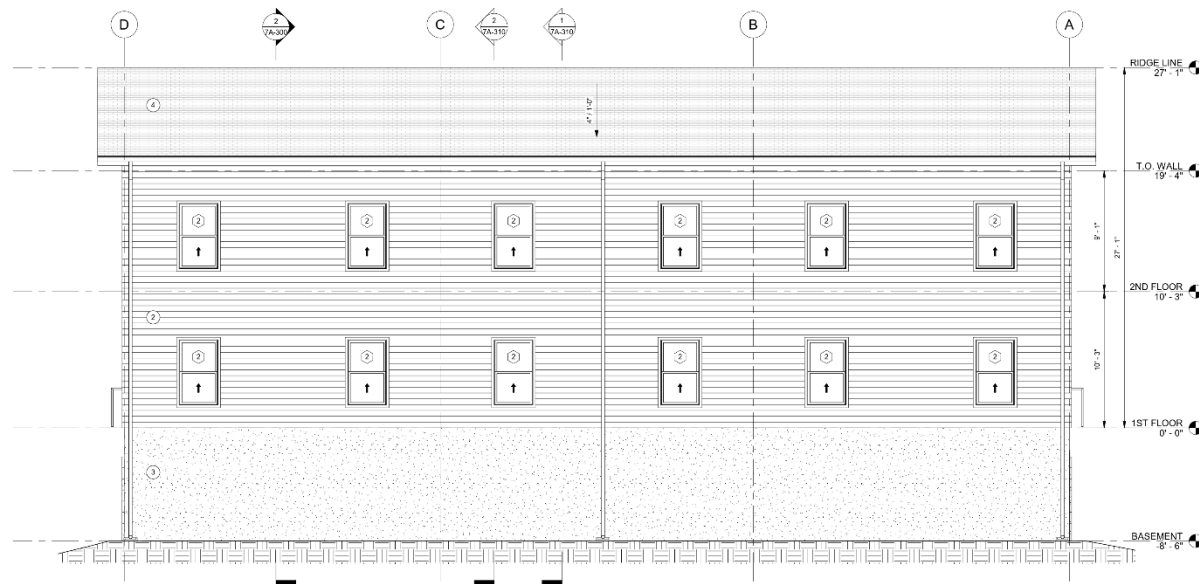
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DRAWN BY: JH/EK
DESIGNED BY: JP/AS
CHECKED BY: JP/AS

CONDITIONAL USE
PERMIT APPLICATION,
DEC 2023

2ND FLOOR OVERALL
PLAN

2 OF 4

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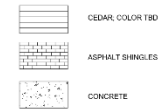
2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

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ELEVATION FINISH LEGEND



ELEVATION SHEET NOTES

1. EXTERIOR SCIENCE AT ENTRY DOORS.
2. CEDAR SIDING.
3. CONCRETE FOUNDATION WALL, WITH STONE VENEER TO MATCH OTHER RESORT BUILDING BASES.
4. ASPHALT SHINGLE ROOFING (TYP.)
5. WOOD FRAMED STAIRS W/ WOOD TREAD & RISERS. WOOD POST RAILING.

ARCHITECT
UNUM
collaborative
1490 N LAFAYETTE STREET, SUITE 408
DENVER, CO 80218
610.442.1739

FIREFALL LODGE
STAFF HOUSING
24025 HWY 120
Groveland, CA 95321

STAMP & SIGNATURE

NOT FOR
CONSTRUCTION

History:

History	Date
SCHEMATIC DESIGN	10/2/2022

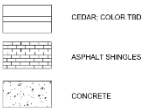
DATE: 10/2/2022
PROJECT #: 2022 42
DRAWN BY: JH/EK
DESIGNED BY: JP/AS
CHECKED BY: JP/AS

CONDITIONAL USE
PERMIT APPLICATION,
DEC 2023

EXTERIOR ELEVATIONS

3 OF 4

ELEVATION FINISH LEGEND



ELEVATION SHEET NOTES

1. EXTERIOR SCONCE AT ENTRY DOORS.
2. CEDAR SIDING.
3. CONCRETE FOUNDATION WALL, WITH STONE VANEER TO MATCH OTHER RESORT BUILDING SITES.
4. ASPHALT SHINGLE ROOFING (TYP.)
5. WOOD FRAMED STAIRS W/ WOOD TREAD & RISERS, WOOD POST RAILING.

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Groveland, CA 95321

STAMP & SIGNATURE

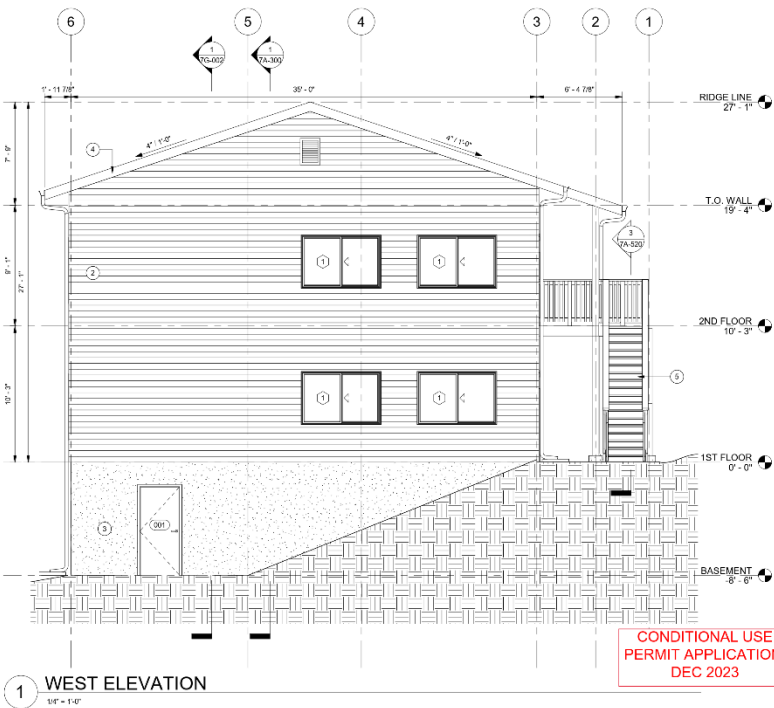
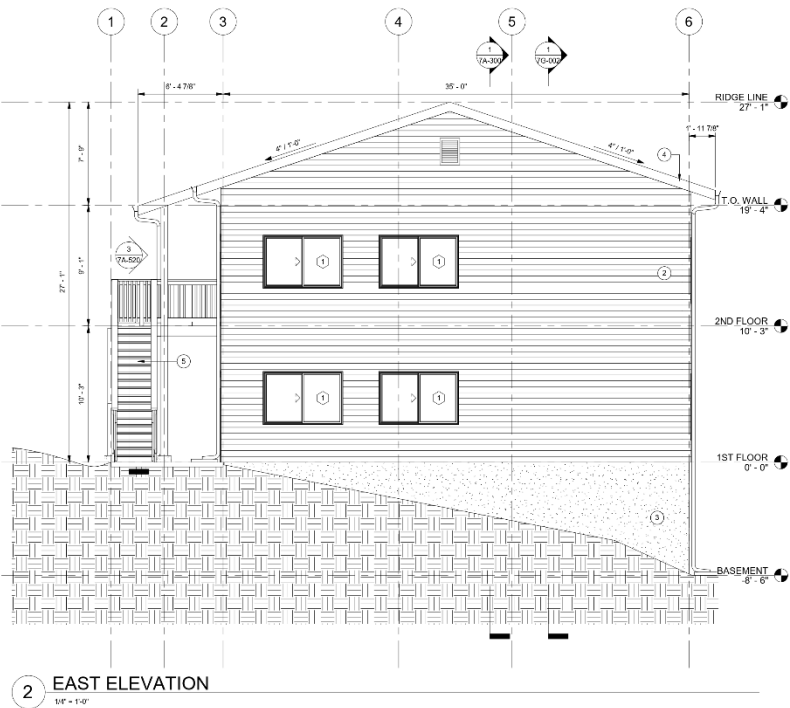
**NOT FOR
CONSTRUCTION**

History: SCHEMATIC DESIGN Date: 12.21.2022

DATE: 10.21.2022
PROJECT #: 2022.42
DRAWN BY: JH/EK
DESIGNED BY: JP/AS
CHECKED BY: JP/AS

EXTERIOR ELEVATIONS

4 OF 4



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**CONDITIONAL USE
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DEC 2023**



SCALE: 1/4" = 1'-0"

FRONT ELEVATION E1



SCALE: 1/4" = 1'-0"

LEFT ELEVATION E2



REVISION		
REV	DATE	DESCRIPTION

OWNER INFORMATION:
BOYER TRUST
23050 COFFILL ROAD
TYNAN HART, CA 95383
PH: 209.788.1959

SITE INFORMATION:
Groveland, CA, 95321
APN 066-250-046
APN 066-250-047

PROJECT INFORMATION:

A Private Residence for:
Firefall Resort
Groveland, CA, 95321
PH: 209.788.1959

ENGINEER OF RECORD:



These drawings and specifications are the property of the engineer and shall remain confidential. No part of these drawings or specifications shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written permission of the engineer.

ISSUE DATE: 05/02/23

DRAWN BY: RC

CHECKED BY: JS

SCALE: AS NOTED

DRAWING: Elevation

PROJECT NO: 20-05-32

SHEET: 1 of 4

CONDITIONAL USE
PERMIT APPLICATION
DEC 2023



SCALE: 1/4" = 1'-0"

REAR ELEVATION E3

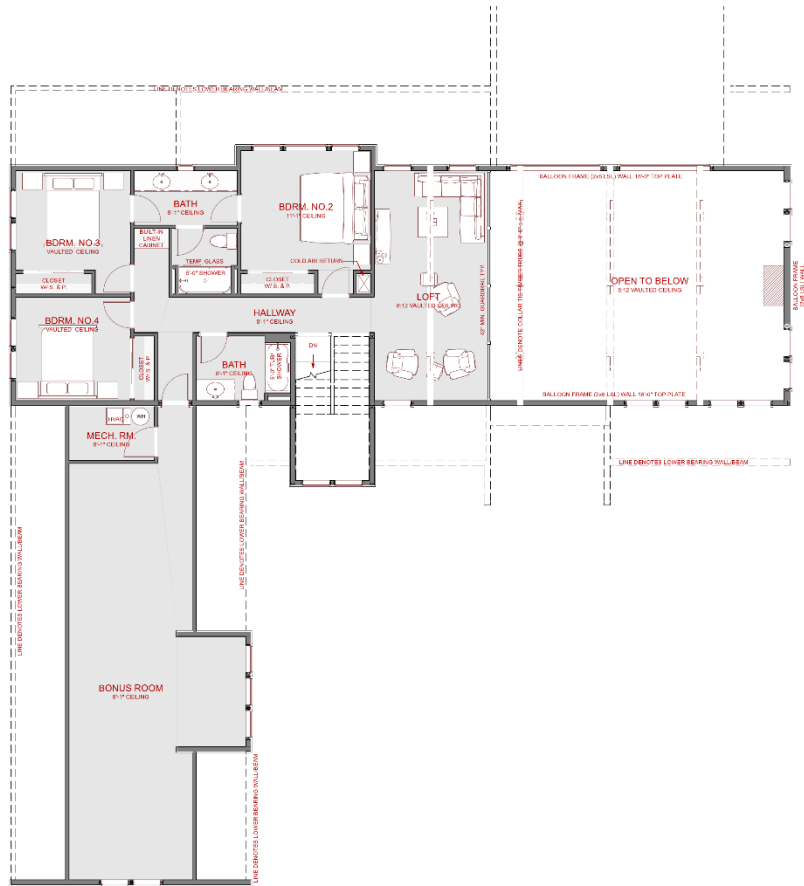


SCALE: 1/4" = 1'-0"

RIGHT ELEVATION E4

 185 SOUTH STEWART STREET, SONOMA, CALIFORNIA, 95071 T: 209.632.6172 F: 209.632.6220				
REVISION <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> </tbody> </table>		REV	DATE	DESCRIPTION
REV	DATE	DESCRIPTION		
OWNER INFORMATION: BOYER TRUST 23050 COFFILL ROAD TWAIN HART, CA 95383 PH: 209.788.1959				
SITE INFORMATION: Groveland, CA, 95321 APN 066-250-046 APN 066-250-047				
PROJECT INFORMATION: A Private Residence for: Firefall Resort Groveland, CA, 95321 PH: 209.788.1959				
ENGINEER OF RECORD:  PRELIMINARY NOT FOR CONSTRUCTION These drawings and specifications are the property of the engineer and shall remain confidential. No part of these drawings or specifications shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written permission of the engineer.				
ISSUE DATE:	05/02/23			
DRAWN BY:	RC			
CHECKED BY:	JG			
SCALE:	AS NOTED			
DRAWING:	Elevation			
PROJECT NO:	20-05-32			
SHEET:	2 OF 4			

CONDITIONAL USE
PERMIT APPLICATION
DEC 2023



SCALE: 3/16" = 1'-0"

1816' SQ. FT. **FIRST FLOOR PLAN**

**CONDITIONAL USE
PERMIT APPLICATION
DEC 2023**



REVISION		
REV	DATE	DESCRIPTION

OWNER INFORMATION:
BOYER TRUST
23050 COFFILL ROAD
TWIN HARTS, CA 95383
PH: 209.788.1959

SITE INFORMATION:
Groveland, CA, 95321
APN 066-250-046
APN 066-250-047

PROJECT INFORMATION:

A Private Residence for:
Firefall Resort
Groveland, CA, 95321
PH: 209.788.1959

ENGINEER OF RECORD:



These drawings and specifications are for the project of the applicant and are not to be used for any other project without the written consent of the engineer. The engineer is not responsible for any errors or omissions in these drawings and specifications. The engineer is not responsible for any construction or other work not shown on these drawings and specifications.

ISSUE DATE	05/02/23
DRAWN BY	RC
CHECKED BY	JS
SCALE	AS NOTED
DRAWING	Floor Plan
PROJECT NO.	20-05-32
SHEET	4 of 4